

## Report Provided By



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### Property Address

**Marcia street, Sunshine West, VIC, Australia**



## Report Information

### Client Information

Client Name                 John Smith  
 Client Email               johnsmith@email.com

### Inspection Information

Report/Agreement #       0307151640104  
 Inspection Date           03 Jul 2015  
 Inspection Time           02:00 PM

### Building Inspection

The Scope of the Inspection:

This report Complies with Australian Building Standards AS 4349.1-2007. Inspection of Buildings Part 1: Pre- Purchase Inspections-Residential Buildings- Appendix "C"and with AS 4349.3 (Visual Timber Pest Inspection Report)

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time and date of the visual inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report. If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

Note: This report and any other attached report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re- inspection after this time is essential. Further this report is not intended to be used as a marketing tool by and realestate agents and only the person named in the CLIENT INFORMATION section of the report shall this report apply to as it is assumed and agreed that the person who orders the report is indeed the person purchasing the property inspected.

We strongly advise that any cracking reported in this report should be referred to a structural engineer for further assessment and advice.

Section 2.3.1 - General: The inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of the inspection.

Section 2.3.5: Significant items to be reported are as follows:

- a) Major Defects - A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
- b) A General Impression regarding the Extent of Minor defects - defects other than major defects.
- c) Any Major Defect that is an Urgent and Serious Safety Hazard.

AS 4349.1 - 2.3.5 Extent of Reporting

Section 4.2.4.2 - The report shall describe the overall extent of minor defects. The inspector is not required to comment on individual minor defects and imperfections.

**Acceptance Criteria:**

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

**Special Requirements**

Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

**Changes to the Inspection Agreement**

Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of that agreement (if applicable) and the scope of this inspection report.

**Limitations**

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007

The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection.

Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase. As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

**Safe and Reasonable Access**

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access " is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers. Reasonable access does not include the use of destructive or invasive inspection methods and does not include cutting or making access traps or moving heavy furniture, floor coverings or stored goods. Roof Interior- Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground.

**PLEASE REFER TO THE IMPORTANT INFORMATION SECTION AT THE END OF THIS REPORT AS IT FORMS PART OF THIS INSPECTION REPORT**

**Areas to be Inspected and Restrictions**

The Building and the site including fencing that is up to 30 meters from the building and within the boundaries of the site. Where present and accessible, the Inspection shall include.

- (a) The interior of the building.
- (b) The roof space.
- (c) The exterior of the building
- (d) The sub-floor space
- (e) The roof exterior
- (f) The property within 30 m of the building subject to inspection.

Entering attics or roof voids that are heavily insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. There is a limited review of the attic area viewed from the hatch only in these circumstances.

The roof covering will not be walked upon if in the opinion of the inspector it is not safe to do so.

Generally issues that prevent roof access include, access height over 3 metres, steep pitch, wet/slippery surfaces, deteriorated covering. Not being able to walk a roof significantly limits our inspection which can result in hidden defects going undetected.

Only areas where safe and reasonable access is available were inspected. Access will not be gained where there are safety concerns, obstructions or where the space to inspect is less than the following: Roof Void access door must be at least 500 mm x 400 mm, reachable by a 3.6 m ladder and within the roof void there is at least 600 mm x 600 mm crawl space. Safe access to the roof void, the sub floor area and the roof cladding is at the inspector's discretion.

## **Areas where full Inspection Restricted**

Please refer to each individual area re sections that were incapable or being inspected.

PLEASE NOTE - Since a complete inspection of some areas listed through the report may not have been physically possible (due to but not limited to - storage, furniture, beds, personal belongings in cupboards and/or wardrobes, low clearance in sub floor or roof void areas, ducts restricting access in sub floors or roof voids, plumbing restricting access in sub floor area, no access doors or access doors too small to sub floor or roof void and the like; then it follows that defects, timber pest activity and/or damage may exist in these areas and arrangements should be attempted to have these areas inspected.

In some circumstances this will not be possible, for example a low sub floor or heating ducts restricting access. To properly inspect these restricted areas, ducts and floor boards may need to be removed, furniture moved, cupboards and wardrobes emptied which will be difficult to carry out. Therefore, there will be an element of risk that defects/damage/termites/termite damage and the like may exist in any physically or visually obstructed areas and only become apparent when access is made available.

We do not guarantee in any way that there are or are not any defects, termite damage or live termites in any areas not able to be inspected.

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## Report Summary

**Below Is A Summary Of the Report.**

**You should not rely on the summary only. Please read the entire report.**

**This is only a summary of the report and should not be relied on solely.**

**We strongly recommend you read the report in its entirety.**

<b>Section</b>	<b>Location</b>	<b>Name</b>	<b>Comment</b>
SITE	Shed	Shed Condition	Rust developement on cladding noted. Recommend treating with rust inhibitor
ROOF AND GUTTER	Roof Covering	Roof Clad Condition	Moss has built up on the tiles over time. It is preferable to have removed / cleaned to prevent deterioration.
ROOF AND GUTTER	Roof Covering	Flashing Conditions	Minor flashing rust sections. Recommend treating with rust inhibitor.
ROOF AND GUTTER	Guttering	Gutter Findings	Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.
ROOF AND GUTTER	Guttering	Gutter Findings	Gutter ponding - This can relate to poor fall, inadequate down pipes, gutter or debris build up. If debris presence has been noted above clean same out and re-assess for any ponding. If clean guttering is ponding it can be a blocked down pipe or the guttering fall is inadequate. Recommendations: A qualified plumber should be engaged for advice and recommendations.
INTERIORS	Lounge Room	Ceiling	Settlement Cracks Noted . These are typical and generally patch and paint will suffice.
INTERIORS	Lounge Room	Walls	Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.
INTERIORS	Bedroom 3	Walls	Settlement Cracks Noted . These are typical and generally patch and paint will suffice.
INTERIORS	Bedroom 3	Windows	Cracked pane.
INTERIORS	Family Room	Ceiling	Settlement Cracks Noted . These are typical and generally patch and paint will suffice.
INTERIORS	Family Room	Flooring	Unevenness visible in floor.
BATHROOM(S)	Powder Room	Toilet	Could not flush, check with owner as to why. You may need to contact a plumber for repairs
BATHROOM(S)	Bathroom 1	Ventilation	An exhaust fan is present and operable in the bathroom - Regular cleaning advised.

EXTERIOR	Exterior Walls	Condition	Cracks noted. Possible causes may be foundation movement. Support structure deflection. Thermal movement and moisture uptake or loss, failure under external loads. These are not a concern. Cracks need to be sealed with silastic and monitored over the next 12 to 24 months. If cracks appear to be worse a structural engineer should be consulted for further evaluation and advice.
EXTERIOR	Exterior Walls	Condition	Mortar erosion between the brickwork is eroded. Contact a licensed bricklayer for repairs.
EXTERIOR	Eaves	Eave Condition	Fibrous Cement Sheeting cladding sections. Note: Asbestos is only harmful if cut or where work is carried out that may cause dust particles to rise. Always wear appropriate safety clothing whenever handling or working around asbestos
HOT WATER SYSTEM	Hot Water Unit	Hot Water Unit Findings	The hot water overflow requires diverting to a drain or further from the dwellings wall or footings. Excess water ponding alongside walls and into perimeter footings has the potential to cause rising damp, differential settlement and wall cracks over time. It is also conducive to termite infestation.
HOT WATER SYSTEM	External Plumbing Pipes	Plumbing Pipes	Penetration openings- as per the guide to standards & tolerances 2007 - Clause 7.08 - Pipe penetrations through external walls and inside cupboards - Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat minimum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable.
GARAGE - CARPORT	Garaging	Roof And Gutter	Rust on roof sheeting. Recommend treating with rust inhibitor.
STAIRS- PERGOLA- BALCONIES- DECKS	Pergola Findings	Overall Condition	Of areas visible, minor defects and/or maintenance issues were visible. These will require assessment and subsequent repairs by a licensed tradesperson. Please read below for details. Please note that the inspector believes these to be of a minor nature relative to the age of the dwelling and or lack of proper and continual maintenance. Others, including other inspectors may differ in their opinions.
STAIRS- PERGOLA- BALCONIES- DECKS	Pergola Findings	Pergola Framework	Timber fungal decay in the framework is visible. Recommendations: A qualified tradesman needs to repair or replace affected areas.
STAIRS- PERGOLA- BALCONIES- DECKS	Pergola Findings	Pergola Posts	Minor post base timber fungal decay - Recommendations: Repairs as required. It is preferable to have posts on stirrups kept out of contact with soil. Timber in contact with ground is conducive to termite infestation and timber fungal decay.
SUBFLOOR	Sub-Floor Observation.	Dampness	Of the visible areas, no excess damp was visible.

SUBFLOOR	Sub-Floor Observation.	Piers And Foundation Walls	Excessive or inadequate packing of stump footings between bearers and stumps - If the sub floor is kept dry this should not be too much of an issue, however packing is defective if it is compressible e.G. Timber packing. Recommendations: A qualified re-stumping contractor should be engaged for advice and recommendations.
CONCLUSION	Conclusion and Summary	The incidence of Major Defects	The incidence of major defects in this residential building as compared with similar buildings is considered typical.
CONCLUSION	Conclusion and Summary	The Incidence of Minor Defects	The incidence of minor defects in this residential building as compared with similar buildings is considered typical
CONCLUSION	Conclusion and Summary	The Overall Condition Of This Dwelling	The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is average.

## REPORT INFORMATION

### Property Information

#### **Building Type**

The dwelling is a Residential House.

#### **Construction Type**

The wall cladding is Brick. With Gypsum internal wall lining. ( Brick Veneer )

#### **Roof Cladding**

The roof is clad with Terra Cotta Tiles.

#### **Roof Design**

The roof is a Pitched roof design.

#### **Footings Type**

Concrete stump footings

#### **Storeys**

The home is a Single Level Dwelling.

#### **Property Occupied**

The home was occupied.

#### **Property Furnished**

The home was Fully Furnished

#### **People Present**

The Estate Agent was present.

The vendor was present.

### Weather at Inspection Area

#### **Weather Conditions**

The weather was Overcast and Dry at the time of the building inspection.

### Utility Status

#### **Water**

The water was Connected. All plumbing pipe installation should be assessed by a licenced plumber.

#### **Gas**

The water was Connected. All plumbing pipe installation should be assessed by a licenced plumber.

#### **Electricity**

Electricity to the dwelling was connected. Note: We do not carry out electrical inspections for wiring or safety. This must be, by law, carried out by a licensed electrician and I recommend you have all electrical wiring and components assessed by a licensed electrician.

An RCD should be installed for safety reasons

Recommend upgrading switchboard



## **Areas Where Full Inspection Restricted**

### **Areas Inspected**

- Building Exterior
- Building Interior
- Garage
- Roof Exterior
- Roof Void
- Site
- Subfloor

### **Area Where Inspection Was Restricted**

- Subfloor

# SITE

## Driveway

### **Materials**

The driveway is concrete.

### **Driveway Condition**

On visual inspection, the general condition of the driveway is in a serviceable condition.

## Paths

### **Pathways Condition**

The paths around the home are in a serviceable condition for the age of this dwelling with no major defects visible.

## Trees

### **Tree Findings**

Trees are close to the dwelling. These currently do not appear to have caused any defects/wall cracking. Recommendations: Engage a qualified arborist to carry out an assessment on potential issues.

## Fences & Gates

### **Overall Condition**

Of the visible areas, the general condition of the fences and gates is serviceable for the age of dwelling.

The front and rear walls on property have some visible cracking. Although this is not a problem I strongly recommend that these be monitored. If cracking increases a bricklayer needs to be engaged to rectify the problem.

## Surface Drainage

### **Drainage Findings**

There was no visible evidence of excess ponding or fall towards the property walls at the time of the inspection. Regardless, it is difficult to ascertain in dry conditions and it is therefore recommended that you assess same after a rainfall period to be able to sufficiently ascertain if any problems exist in this regard. If water is ponding around perimeter walls and paths or appears to be flowing into the footings/foundations you must have assessed by a qualified plumber or landscaper.

## Shed

### **Shed Condition**

The shed is in fair usable condition.

Rust development on cladding noted. Recommend treating with rust inhibitor

Recommend upgrading switchboard



# ROOF AND GUTTER

## Roof Covering

### Roof Covering Type

Terracotta tiles

### Overall Condition

Of the visible areas, the general condition of the roof is in serviceable condition for the age.

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

### Roof Clad Condition

Visible section of The roof cladding appeared in a serviceable condition for the age of this dwelling.

Annual maintenance inspection recommended.

Moss has built up on the tiles over time. It is preferable to have removed / cleaned to prevent deterioration.

Rust developing in valley. Recommend treating with rust inhibitor.

Dislodged mortar in places.

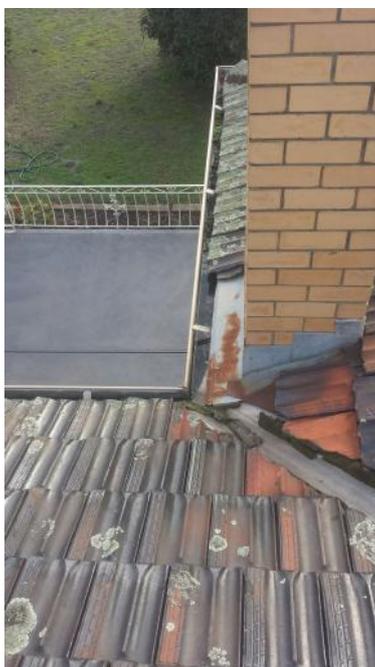


### Flashing Conditions

The flashing appears to be serviceable.

Minor flashing rust sections.

Recommend treating with rust inhibitor.



## General Disclaimer

The above is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. We offer no guarantee that the roof cladding or roof components such as flashing will not leak in the future.

## Guttering

### Gutter Findings

All visible guttering appears serviceable condition with no apparent defects at the time of inspection. Note: Periodic maintenance checks should be carried out for rust penetrations and leaks.

Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.

Gutter ponding - This can relate to poor fall, inadequate down pipes, gutter or debris build up. If debris presence has been noted above clean same out and re-assess for any ponding. If clean guttering is ponding it can be a blocked down pipe or the guttering fall is inadequate.

Recommendations: A qualified plumber should be engaged for advice and recommendations.



## Down Pipes

### Down Pipe Findings

On visual inspection no apparent defects were noted to the down pipes and are considered serviceable, however no comment can be made with regard to blockages, connections to stormwater or functionality in the absence of rain. Note: Periodic maintenance checks should be carried out for rust penetrations and leaks.

# INTERIORS

## Smoke Alarm

### **Was a Smoke Alarm Fitted**

Yes a smoke alarm was sighted but not tested.

All dwellings must have at least one working smoke alarm (sometimes mistakenly referred to as “smoke detectors”) installed on each level of their home. This includes owner occupied, rental properties, relocatable homes or any other residential building where people sleep. We strongly recommend you have at least 1 working smoke alarm installed.

## Doors

### **Front Entry Doors**

The doors are in serviceable condition with no notable defects observed.

## Hallways

### **Overall Condition**

The hall is in serviceable condition with no notable structural defects sighted.

## Lounge Room

### **Overall Condition**

The lounge room is in serviceable condition with no notable structural defects sighted.



## **Ceiling**

Settlement Cracks Noted . These are typical and generally patch and paint will suffice.

## **Walls**

Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.



## **Bedroom 1**

### **Overall Condition**

Bedroom 1 is in serviceable condition with no notable structural defects sighted.



### **Door**

Striker plate needs adjusting.



## Flooring

Supporting timber not installed under floorboard alongside heating vent. Recommend having one installed to prevent any damage.



## Bedroom 2

### Overall Condition

Bedroom 1 is in serviceable condition with no notable structural defects sighted.



### Door

Striker plate needs adjusting.

## Bedroom 3

### Overall Condition

Bedroom 1 is in serviceable condition with no notable structural defects sighted.



## Door

Door catching on floor. The door needs refitting. This is caused by ground movement.

## Walls

Settlement Cracks Noted . These are typical and generally patch and paint will suffice.

## Windows

Cracked pane.



## Family Room

### Overall Condition

The lounge room is in serviceable condition with no notable structural defects sighted.



## Ceiling

Settlement Cracks Noted . These are typical and generally patch and paint will suffice.

## Flooring

Unevenness visible in floor.



## KITCHEN & LAUNDRY

### Kitchen and Meals Area

#### Overall Condition

Of the visible areas, the general condition is serviceable or in reasonable condition for age of dwelling.



### Kitchen and Meals Area(Rear)

#### Overall Condition

Of the visible areas, the general condition is serviceable or in reasonable condition for age of dwelling.



#### Walls

Kitchen is a converted garage. There are high moisture readings on wall. This is common due to type of construction.

#### Sink and Taps

The tap / tap head is leaking.

### Kitchen and Meals Area

#### Cupboards And Bench Tops

Oven needs to be refitted as it is loose.

### Laundry Findings

#### Overall Condition

Of the visible areas, the general condition of the laundry is serviceable.



## **Restricted Areas**

Appliances in the laundry restricted full and unobstructed view. Defects may exist behind same.

## BATHROOM(S)

### Powder Room

#### Overall Condition

Of the visible areas, the general condition of the powder room is serviceable or in reasonable condition for age of dwelling.



#### Toilet

Could not flush, check with owner as to why. You may need to contact a plumber for repairs

### Bathroom 1

#### Location

Family Room



#### Overall Condition

Of the visible areas, the general condition of this bathroom is serviceable or in reasonable condition for age of dwelling.

#### Ventilation

An exhaust fan is present and operable in the bathroom - Regular cleaning advised.

## Flooring

Minor cracks in floor tiles



# ROOF VOID

## Roof Void Findings

### Roof Frame Type

The roof frame is a conventional timber frame.



### Overall Condition

Visible sections of the roof void is in a serviceable condition for age of this dwelling.

### Restricted Areas

There is heating and/or cooling ducting present in the roof space/void. This is preventing a full inspection from being undertaken. It is strongly recommended that full access be gained as it could be harbouring timber pest activity, damage or defects.

## Insulation

### Type

The roof space is insulated with loose fill insulation.

### Condition

Where visible and accessible, the insulation appears to be in a serviceable condition.

### Sarking

No Sarking Installed

# EXTERIOR

## Exterior Walls

### Exterior Wall Material

Brick

### Condition

On visual inspection, the general condition of the exterior walls is serviceable for the age. Cracks noted. Possible causes may be foundation movement. Support structure deflection. Thermal movement and moisture uptake or loss, failure under external loads. These are not a concern. Cracks need to be sealed with silastic and monitored over the next 12 to 24 months. If cracks appear to be worse a structural engineer should be consulted for further evaluation and advice.

Mortar erosion between the brickwork is eroded. Contact a licensed bricklayer for repairs.

Wall is a safety hazard and will need the attention of a qualified bricklayer



### Control Joint Findings

Not applicable - No control joints.

## **General Disclaimer**

Limitations of the exterior inspection.

This is a visual inspection limited in scope by (but not restricted to) the following conditions:

A representative sample of exterior components was inspected rather than every occurrence of components. The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards. Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.

Please note - If any wall cracking/cracks/openings are found at this dwelling, we cannot offer any guarantee that any visible wall cracks will not widen or lengthen over time or in the future as this is impossible to predict. , We strongly recommend you contact a structural engineer for further advice.

## **Exterior Windows**

### **Overall Condition**

On visual inspection, the general condition of the windows area is serviceable for the age.

### **Window Information**

Note: Timber framed windows can bind or stick. This can be seasonal due to the fluctuation in moisture content in timber. If binding or sticking continues minor adjustments may be required by a carpenter. Binding windows is not normally a major defect, however in some circumstances binding windows and doors can be directly related to some differential footings settlement. If any timber fungal decay on frames or deteriorated putty seals is noted, the consultant will not attempt to operate windows due to potential damage. Windows that are sticking, binding or paint stuck will also not be forced open.

## **Eaves**

### **Eave Condition**

The eaves are in a serviceable condition with no notable defects.

Fibrous Cement Sheeting cladding sections.

Note: Asbestos is only harmful if cut or where work is carried out that may cause dust particles to rise. Always wear appropriate safety clothing whenever handling or working around asbestos

## **Fascia and Barge Boards**

### **Condition**

On visual inspection, the general condition of the fascia / brage boards is serviceable.

## **Weep Holes and Ventilation**

### **Findings**

The vents are unobstructed.

## **Porch**

### **Overall Condition**

Visible sections of the porch is serviceable or in reasonable or condition for the age of this dwelling.

## **External Door Components**

### **Door Findings**

On Visual Inspection the external condition of the doors is serviceable.

# HOT WATER SYSTEM

## Hot Water Unit

### Hot Water Unit Findings

The hot water system appears to be in a serviceable condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise.

The hot water overflow requires diverting to a drain or further from the dwellings wall or footings. Excess water ponding alongside walls and into perimeter footings has the potential to cause rising damp, differential settlement and wall cracks over time. It is also conducive to termite infestation.



### System Location

The hot water unit is located outside.

### System Type

The hot water unit is a gas storage system.

## External Plumbing Pipes

### Plumbing Pipes

On Visual inspection the external plumbing pipes appear serviceable , but should be checked by a qualified plumber.

Penetration openings- as per the guide to standards & tolerances 2007 - Clause 7.08 - Pipe penetrations through external walls and inside cupboards - Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat minimum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable.



# GARAGE - CARPORT

## Garaging

### Type

Detached garage

### Areas Restricted

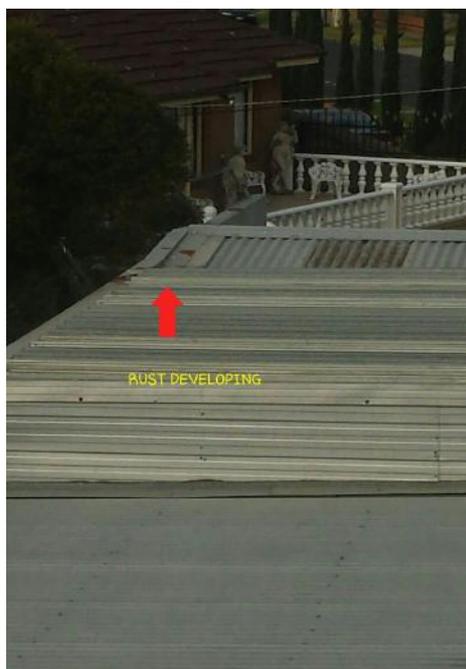
Storage items restricted a full and thorough inspection of this area. Defects may exist in the inaccessible areas. It is strongly recommended that full access be granted to enable a thorough inspection to take place as it could be harbouring timber pest activity, damage or defects. Note: Where vehicles and storage has restricted a full inspection i advise that this area be cleared so a full inspection can be carried out.

### Overall Condition

Of accessable and visible areas, the garaging is considered to be in a serviceable condition.

### Roof And Gutter

Rust on roof sheeting. Recommend treating with rust inhibitor.



## Carport

### Overall Condition

The overall condition of the carport is serviceable for the age.

### Frame Findings

Minor rust developing in frame.

# STAIRS- PERGOLA- BALCONIES-DECKS

## Pergola Findings

### Overall Condition

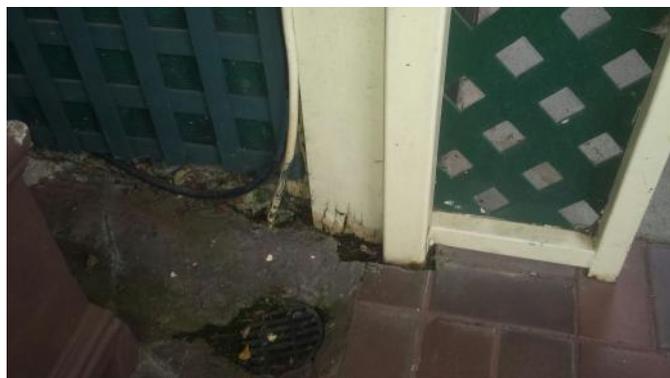
The Pergola is in a serviceable condition with no notable defects sighted.

Of areas visible, minor defects and/or maintenance issues were visible. These will require assessment and subsequent repairs by a licensed tradesperson. Please read below for details.

Please note that the inspector believes these to be of a minor nature relative to the age of the dwelling and or lack of proper and continual maintenance. Others, including other inspectors may differ in their opinions.

### Pergola Framework

Timber fungal decay in the framework is visible. Recommendations: A qualified tradesman needs to repair or replace affected areas.



### Pergola Posts

Minor post base timber fungal decay - Recommendations: Repairs as required. It is preferable to have posts on stirrups kept out of contact with soil. Timber in contact with ground is conducive to termite infestation and timber fungal decay.

# SUBFLOOR

## Sub-Floor Observation.

### General Condition

Of areas accessible and visible, the subfloor and components appeared to be in a serviceable condition.



### Dampness

Of the visible areas, no excess damp was visible.

### Ventilation

Subfloor ventilation appeared to be adequate at the time of inspection.

### Piers And Foundation Walls

Excessive or inadequate packing of stump footings between bearers and stumps - If the sub floor is kept dry this should not be too much of an issue, however packing is defective if it is compressible e.G. Timber packing. Recommendations: A qualified re-stumping contractor should be engaged for advice and recommendations.



### Subfloor Cleanliness

There was debris and other material in the subfloor, we recommend cleaning these to aid with ventilation and reduce the likely hood of rodents and pests.

### Floor Timbers

Old moisture stains in floor boards.

# CONCLUSION

## Conclusion and Summary

### **General Disclaimer**

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the building members in accord with appendix c AS4349.1-2007

Please note: This is a general appraisal only and cannot be relied on its own - Read the report in its entirety.

This summary is supplied to allow a quick and superficial overview of the inspection results. This summary is not the report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the report and anything in this summary, the information in the report shall override that in this summary.

### Definitions

**High:** The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Typical:** The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

**Low:** The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Above average:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

**Average:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below average:** The building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Major defect:** Is a defect requiring building works to avoid unsafe conditions, loss of function or

further worsening of the defective item.

Minor defect: Any defect other than what is described as a major defect.

Accessible area: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Important advice

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a special-purpose inspection report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A geo-technical inspection can determine the foundation material and provide advice on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming pools: Swimming pools/spas are not part of the standard building report under as4349.1-2007 And are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

Surface water drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and storm water run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important information regarding the scope and limitations of the inspection and this report  
Important information any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the scope and limitations of the inspection, form an integral part of the report.

1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not, a defect is considered significant or not depends too a large extent, upon the age and type of the building inspected. This report is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) This is a visual inspection only limited to those areas and sections of the property fully accessible

and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

3) This report does not and cannot make comment upon: Defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighborhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. (Nb: Such matters may upon request be covered under the terms of a special-purpose property report.)

4) Consumer complaints procedure:

In the event of any dispute or claim arising out of, or relating to the inspection or the report, you must notify us as soon as possible of the dispute or claim by email, fax or mail. You must allow us (which includes persons nominated by us) to visit the property (which visit must occur within twenty eight (28) days of your notification to us) and give us full access in order that we may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If you are not satisfied with our response you must within twenty one (21) days of your receipt of our written response refer the matter to a mediator nominated by us from the institute of arbitrators and mediators of australia. The cost of the mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The institute of arbitrators and mediators of australia will appoint an arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of arbitrator, will proceed in the following manner:

- (a) The parties must submit all written submissions and evidence to the arbitrator within twenty one (21) days of the appointment of the arbitrator; and
- (b) The arbitration will be held within twenty one (21) days of the arbitrator receiving the written

submissions.

The arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the arbitrator is final and binding on both parties. Should the arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event you do not comply with the above complaints procedure and commence litigation against us then you agree to fully indemnify us against any awards, costs, legal fees and expenses incurred by us in having your litigation set aside or adjourned to permit the foregoing complaints procedure to complete.

#### 5)Asbestos disclaimer:

No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the additional comments section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains asbestos. Even buildings built after this date up until the early 90s may contain some asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing asbestos is a high risk to peoples' health. You should seek advice from a qualified asbestos removal expert."

#### 6)Mould (mildew and non-wood decay fungi) disclaimer:

Mildew and non wood decay fungi is commonly known as mould. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided. If in the course of the inspection, mould happened to be noticed it may be noted in the additional comments section of the report. If mould is noted as present within the property or if you notice mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local council, state or commonwealth government health department or a qualified expert such as an industry hygienist.

#### 7)Magnesite flooring disclaimer:

No inspection for magnesite flooring was carried out at the property and no report on the presence or absence of magnesite flooring is provided. You should ask the owner whether magnesite flooring is present and/or seek advice from a structural engineer.

#### 8) Estimating disclaimer:

Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are not a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in all instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

#### Important disclaimer

Disclaimer of liability: -No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report).

Disclaimer of liability to third parties: Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Any third party acting or relying on this report, in whole or in part, does so entirely at their own risk. However, if ordered by a real estate agent or a vendor for the purpose of auctioning a property then the inspection report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the report itself.

Note: In the act under the civil law (sale of residential property) act 2003 and regulations the report resulting from this inspection may be passed to the purchaser as part of the sale process providing it is carried out not more than three months prior to listing and is not more than six months old.

#### Other assessments recommended

##### Electrical installation:

All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The inspection of any electrical item is outside the scope of this report. It's recommended that a licensed electrician be consulted for further advice.

##### Plumbing:

All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.

##### Hot water service:

All hot water services need to be inspected and reported on by a plumber and/or electrician. It's

recommended that a licensed plumber and/or electrician be consulted for further advice.

#### Gas:

All gas services need to be inspected and reported on by a gas plumber. It's recommended that a licensed gas plumber be consulted for further advice.

#### Phone:

All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician. It's recommended that a telecommunications technician be consulted for further advice.

#### Smoke detectors:

Australian standard as 3786 - Advises that smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to give advice on those installed or install these detectors.

#### Rising damp information

Rising damp occurs as a result of capillary suction of moisture from the ground into porous masonry building materials such as stone, brick, earth and mortar. The moisture evaporates from either face of the wall (inside or outside), allowing more to be drawn from below. The height to which the moisture will rise is determined by the evaporation rate and the nature of the wall. To prevent rising damp it is normal practice to build in an impermeable barrier at the base of the wall just above ground level. This is known as the damp-proof course (dpc) or sometimes as the damp course. Modern dpcs are generally 0.5 Mm thick black polyethylene sheeting. Early dpcs included overlapping roofing slates, lead sheets, glazed ceramic tiles (made for the purpose) and various bitumen-based materials, including tar-sand mixes which were laid hot.

Masonry containing a high proportion of fine pores will allow the water to rise higher than a coarse pored material; basically the water is carried up the wall in the finer pores and not those of large diameter. The average size of pores in masonry gives a theoretical rise of around 1.5 Meters but where evaporation is severely retarded, for example by the use of impervious membranes, moisture can sometimes rise in excess of 2 meters. Rising damp is often caused by bridging of the dpc. This happens when external renders or internal plasters provide a moisture pathway around the dpc. If rising damp, salt residue on lower walls, lower wall paint flake has been detected and reported on in this report, it is essential that you contact a specialist to ascertain how extensive the problem may be. Accurate diagnosis of the cause and extent of the damp problem is very important, even if there is evidence in one area and no visible evidence in other areas. Specialist advice should be sought prior to purchasing the dwelling.

#### Terminology

The definitions below apply to the types of defects associated with individual items/parts or Inspection areas.

Damage: The building material or item has deteriorated or is not fit for its designed purpose.

Distortion, warping, twisting: The item has moved out of shape or moved from its position.

Water penetration, dampness: Moisture has gained access to unplanned and/or unacceptable areas.

Material deterioration: The item is subject to one or more of the following defects; rusting, rotting, Corrosion, decay.

Operational: The item or part does not function as expected.

Installation: The installation of an item is unacceptable, has failed or is absent.

Contact the inspector

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of major defects and minor and overall condition in this residential building as compared with similar buildings is listed below.

### **The incidence of Major Defects**

The incidence of major defects in this residential building as compared with similar buildings is considered typical.

### **The Incidence of Minor Defects**

The incidence of minor defects in this residential building as compared with similar buildings is considered typical

### **The Overall Condition Of This Dwelling**

The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is average.

# ACCESS AND RESTRICTIONS

## 1.3 Brief Description of the Structure Inspected

### **Building Type**

Free Standing Domestic House

### **Height**

Single Storey

### **Floor**

Timber Flooring on Brick Piers

### **Walls**

Gypsym Lined Walls

### **Garage**

Detached metal frame

### **Roof**

Pitched Tile

### **Fences**

Timber Fencing.

Brick

### **Out Buildings**

Shed,

## 1.2 Timber Pest Activity

### **Was there any Termite Workings or Damage Found -**

No - Of the areas able to be inspected there were no termite workings or termite damage visible.

Please read this report in its entirety.

### **Were Any Live or Active Termites Found**

No. Please read the report in its entirety

### **NOTE**

Note: Any evidence of termite activity or workings in the grounds or building structure assumes that risk to buildings is very high. We strongly recommend a treatment to eradicate the termites and to protect the building.

### **Any Visible Borer of seasoned Timbers Found**

Yes - Read this report in its entirety.

### **Any Damage caused by Wood Decay, Rot Found**

No - Read this report in its entirety.

### **NOTE**

For complete and accurate information please refer to the attached complete visual timber pest report, provided in accord with as 4349.3

### **Are further inspections recommended**

NO - read this report in its entirety

### **Where any major safety hazards identified**

NO - read this report in its entirety

### **Susceptibility of this property to timber pests**

In our opinion, the susceptibility of this property to timber pests is considered to be MODERATE.

Read the report in full

### **Is a Invasive Inspection Recommended**

No

## **2.1 Brief Description of Areas Inspected**

### **The areas inspected were**

Exterior

Fences

Garage

Grounds

Interior

Outbuildings

Roof Void

Subfloor

### **NOTE**

Only structures, fences & or trees within 50m of the building but within the property boundaries were inspected.

## **2.2 Areas Not Inspected**

### **Unable to Inspect -**

All visible and unobstructed areas were inspected.

### **Please Note**

No inspection was made, and no report is submitted, of inaccessible areas. These include, but may not be limited to, cavity walls, concealed frame timbers, eaves, flat roofs, fully enclosed patios sub-floors, soil concealed by concrete floors, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts, etc.

## **2.4 Areas of Visual Inspection obstructed and why-**

### **Areas Obstructed**

There is insulation, present in the roof space/void. This is preventing a full inspection from being undertaken. It is strongly recommended that full access be gained as it could be harbouring timber pest activity and/or damage.

There is duct work present throughout the subfloor which is preventing a full/thorough visual inspection taking place. It is strongly recommended that full access be granted to enable a thorough inspection to take place as it could be harbouring timber pest activity and/or damage.

Stored item in garage obstructed visual inspection,

### **Please Note**

Please note since a complete inspection of the above areas was not possible, timber pest activity

and/or damage may exist in these areas.

## **2.6 House furnishings**

### **Was the dwelling Furnished -**

The dwelling was fully furnished.

### **Please Note**

Where a property is furnished at the time of the inspection then you must understand that the furnishings and stored goods may be concealing evidence of timber pest activity. This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

No inspection was made and no report is submitted, of inaccessible areas. If a complete inspection of the areas in the dwelling was not possible, termite activity and/or damage may exist in these areas and nothing in this report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by me on the date of the inspection were not, or have not been infested by timber pests.

Accordingly, this report does not report on inaccessible areas. This includes but may not be limited to concealed frame timbers, eaves, areas concealed by concrete floors, wall linings, soil, landscaping, rubbish, floor coverings (carpet lino etc.), Furniture, pictures, appliances (dishwashers, refrigerators, washing machines, ovens, microwave ovens, heating and cooling units etc.), Stored items (clothes on floor, boxes on floor and against walls, beds against walls and the like), insulation, hollow blocks/columns/posts/poles or other architectural hollow structures. Furnishings found at this dwelling were not inspected and do not form part of this inspection.

## **2. Visual Timber Pest Inspection Report**

### **Important Information**

For complete and accurate information please refer to the attached complete visual timber pest report, provided in accord with as 4349.3

## **Summary Only**

### **Important Disclaimer**

Important disclaimer

This summary and the opinion is supplied to allow a quick and superficial overview of the inspection results. This summary is not the report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the report and anything in this summary, the information in the report shall override that in this summary. The report is subject to terms and limitations.

Note: It is essential that you read the entire report; other inspectors may have and are entitled to different opinions in relation to this dwelling.

Note: This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential

**Note****Inspection Information**

For the purpose of this timber pest inspection report. Which form part of a combined timber pest and building inspection. The inspection information listed at the beginning of the building inspection report namely report information shall apply. Including the date and time of inspection, agreement number, who the report is prepared for and the description of the property inspected.

## TIMBER PEST FINDINGS

### 3. Subterranean Termites

#### **Were Active or Live Termites Visible -**

No. Of the visible and accessible areas inspected, there were no visible termites found at the time of the inspection.

#### 3.1 Termite Nests -

##### **Was a Termite Nest Found -**

No termite nests found at time of inspection.

#### 3.2 Subterranean Termite Damage or workings -

##### **Any workings or damage found -**

No. Of the visible and accessible areas inspected, no termite working or timber damage found at the time of the inspection.

#### 3.3 Any Evidence of a Previous Termite Treatment -

##### **Any Evidence of previous Treatments Found -**

No, there was no visible evidence or a previous termite treatment was located at the property.

#### **Warning**

Warning: If evidence of drill holes in concrete or brickwork or other signs of a possible previous treatment are reported then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive inspection carried out and have a builder determine the full extent of any damage and the estimated cost of repairs as the damage may only be found when wall linings etc. Are removed. Normally if a termite treatment has been carried out then a durable notice should be located in the meter box indicating the type of termite shield system, treated zone or combination has been installed.

#### 3.4 Durable Notice

##### **Was a Treatment Notice Found -**

No, a durable notice was not found during the inspection.

#### **Please Note**

This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own inquiries as to the quality of the treatment, when it was carried out and warranty information. In most cases you should arrange for a treatment in accord with "australian standard 3660" be carried out to reduce the risk of further attack.

#### 3.5 Borer

##### **Borer Information**

Borer information: *Lyctus brunneus* (powder post beetle) is not considered a significant pest of timber. Damage is confined to the sapwood so treatment or timber replacement is not usually required. However, you should have a building expert investigate if any timber replacement is required.

Anobium punctatum (furniture beetle) and calymmaderus incisus (queensland pine beetle) must always be considered active, unless proof of treatment is provided, because, unless the timber is ground up, one cannot determine conclusively if activity has ceased. Total timber replacement of all susceptible timbers is recommended. A secondary choice is treatment. However, the evidence and damage will remain and the treatment may need to be carried out each year for up to three years.

### **Was Visible Evidence of Borer Found -**

Yes, lyctus brunneus was found- commonly known as the powder post beetle.

### **Moderate Damage was Found in -**

Borer damage located in the floor frame bearers.

Roof frame timber members

### **Please Note**

If any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (see terms & limitations). Borer activity is usually determined by the presence of exit holes and/or frass. Since a delay exists between the time of initial infestation and the appearance of these signs, it is possible that some borer activity may exist that is not discernible at the time of inspection.

## **3.6 Borer Recommendations**

### **Borer Recommendations**

No treatment recommended at this stage.

Note: Only lyctus borer/powder post borer, pin-hole borer and furniture beetle presence is inspected.

## **4. Timber Fungal Decay - Rot**

### **Evidence of Wood Decay Fungi -Rot -**

Timber Fence ,

### **Extent of Damage Caused by Rot -**

No damage was found at the time of inspection.

If any evidence of fungal decay or damage is reported you should consult a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (see terms & limitations).

### **Does the damage present a Major Safety Hazard**

No

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

We claim no expertise in building and if any evidence of fungal decay or damage is reported you should consult a building expert to determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

# CONDUCTIVE CONDITIONS

## 5. Conductive Conditions to Timber Pests

### **Water leaks -**

There was water leakage detected during the inspection from the hot water overflow. This should be diverted away from the dwellings walls or into a drain. Liaise with a plumber to rectify same.

### **Please Note**

Water leaks, especially in or into the sub-floor or against the external walls e.G. Leaking taps, water tanks or down pipes and or guttering, increases the likelihood of termite attack. Leaking showers or leaks from other „wet areas also increase the likelihood of concealed termite attack. These conditions are also conducive to borer activity and wood decay.

If any leaks were reported then you must have a plumber or other building expert to determine the full extent of damage and the estimated cost of repairs.

### 5.1 Overflows

#### **Was the H/W overflow sufficiently drained -**

No - Divert hot water overflow away from the building perimeter

### 5.2 Moisture Readings

#### **Was there any Excessive Moisture Readings -**

At the time of the inspection moisture readings were high

### 5.3 Sub Floor Ventilation

#### **Sub Floor Ventilation is Generally -**

Adequate.

### 5.4 Slab Edge Exposure

#### **Is the Slab Edge adequately Exposed -**

Not applicable

### 5.5 Weep Holes and Sub Floor Vents

#### **Were the weep holes Clear of debris -**

Not applicable.

#### **Were the vents clear -**

Yes

### **Please Note**

It is very important that soil, lawn, concrete paths or pavers do not cover the weep holes. Sometimes they have been covered during the rendering of the brick work. They should be clean and free flowing. Covering the weep holes in part or in whole may allow undetected termite entry.

## 6. Ant Capping and Termite Shields

### **The Termite Shields Appear to Be -**

No ant capping installed. The purpose of antcapping is to prevent concealed termite entry by forcing the termites build mud tunnels around the visible sections of the antcapping enabling

detection during a pest inspection. Antcapping will not prevent the entry of termites to a structure however, correctly fitted ant caps will assist in early detection. If it is not possible or practicable to fit antcapping, this area should be regularly inspected by a licensed pest inspector.

### **Please Note**

Termite shields (ant caps) should be in good order and condition so termite workings are exposed and visible. This helps stop termites gaining undetected entry. Joins in the shielding should have been soldered during the installation. Whenever it is observed that the joins in the shielding have not been soldered then the shielding must be reported as inadequate. It may be possible for a builder to repair the shielding. If not, a chemical treated zone may need to be installed to deter termites from gaining concealed access to the building. Missing, damaged or poor shields increase the risk of termite infestation. If considered inadequate a builder or other building expert should be consulted. Other physical shield systems are not visible to inspection and no comment is made on such systems.

## **7. Areas Found Conducive To Termite Infestation -**

### **Conducive Areas Requiring Amendments -**

Hot water unit overflow not connected to drain. This provides conducive conditions for termite infestation. The degree of risk is moderate to high.

Timber debris in contact with ground in sub floor. This provides conducive and concealed conditions for termite infestation. The degree of risk is high. Remove.

## **8. Environmental Conditions**

### **Are Trees Close to Home -**

Trees are in close proximity to the dwelling and within the termite foraging area. These are a favorable influence for termite infestation and I recommend you liaise with the neighbours to have regularly checked and if in your site, organise regular inspections for termite infestation.

### **Other Informational**

Refer to important maintenance advice regarding ipm below.

# OVERALL ASSESSMENT

## 10. Overall Assessment of Property

### **Degree of Risk of Termite Infestation is -**

The overall degree of risk of timber pest infestation to this property appears to be moderate - See notes below.

The overall degree of risk of timber pest infestation is a subjective assessment by the inspector at the time of the inspection taking into account many factors which include but are in no way limited to location and proximity to bush land and trees, the presence of evidence of timber pest damage or activity close to the inspected structure or within the inspected structure, conducive conditions that raise the potential of timber pest attack such as timbers in contact with soil, inaccessible areas, slab on ground construction etc, or other factors that in the inspectors opinion, raise the risk of future timber pest attack. It should be noted that even if a risk factor is high, this is not meant to deter a purchaser from purchasing the property, it is just to make them aware that increased vigilance is warranted and any recommendations regarding reducing conducive conditions or frequency of inspections should be headed by any property owner. Often, by reducing or eliminating some of the conducive conditions, the risk factor may be lowered.

### **Please Note**

Where or if there has been evidence of live termites or termite damage or termite workings (mudding) found in the building(s) then the risk of a further attack is extremely high. Where evidence of live termites or termite damage or termite workings was found in the grounds but not in the buildings then the risk to buildings must be reported as high to extremely high.

## 11. Subterranean Termite Treatment Recommendation

### **Treatment Recommendation**

A management program in accord with AS 3660-2000 to protect against subterranean termites is not essential as a system is installed, However we can not confirm the efficiency of the system 12 Monthly Inspections are strongly advised.

## 12. Future Inspections

### **Recommended Inspection Intervals**

12 Months.

### **Future Inspections**

Future inspections: As 3660.2-2000 Recommends that inspections be carried out at intervals no greater than annually and where timber pest "pressure" is greater, this interval should be shortened. Inspections will not stop timber pest infestations; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

Due to the degree of risk of subterranean termite infestation noted above and all other findings of this report, we strongly recommend that a full inspection and written report in accord with as 4349.3 Or as 3660.2-2000

## 13. General Remarks

## Please Read

Please read: A more thorough invasive inspection is available. Where any current visible evidence of timber pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees on the property up to a height of 2m have been visually inspected, where possible and practicable, for evidence of termite activity. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

Important maintenance advice regarding integrated pest management for protecting against timber pests

Any structure can be attacked by timber pests. Periodic maintenance should include measures to minimize possibilities of infestation in and around a property. Factors which may lead to infestation from timber pests include situations where the edge of the concrete slab is covered by soil or garden debris, filled areas, areas with less than 400mm clearance, foam insulation at foundations, earth/wood contact, damp areas, leaking pipes, etc.; Form-work timbers, scrap timber, tree stumps, mulch, tree branches touching the structure, wood rot, etc. Gardens, pathways or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by timber pests. Any timber in contact with soil such as form-work, scrap timbers or stumps must be removed from under and around the buildings and any leaks repaired. You should endeavor to ensure such conditions do not occur around your property.

It is strongly recommended that a full inspection to as 4349.3 Or as 3660.2-2000 Be carried out at least once every 12 months. Regular inspections do not stop timber pest attack, but are designed to limit the amount of damage that may occur by detecting problems early.

We further advise that you engage a professional pest control firm to provide a termite management program in accord with as 3660 to minimize the risk of termite attack. There is no way of preventing termite attack. Even as 3660 advises that "the provision of a complete termite barrier will impede and discourage termite entry into a building. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspections."

Disclaimer of liability:- No liability shall be accepted on account of failure of the report to notify any termite activity and/or damage present at or prior to the date of the report in any areas(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the licensed inspector (including but not limited to any area(s) or section(s) so specified by the report).

Disclaimer of liability to third parties: - This report is made solely for the use and benefit of the client named on the front of this report. No liability or responsibility whatsoever, in contract or tort, is accepted to any third party who may rely on the report wholly or in part. Any third party acting or relying on this report, in whole or in part , does so at their own risk.

Before you decide to purchase this property you should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pests. This information forms an integral part of the report.

## **14. Reasonable Access**

### **Access to Inspect**

Access to inspect:

Only areas to which reasonable access is available were inspected. The Australian standard 4349.3 Defines reasonable access as “areas where safe, unobstructed access is provided and the minimum clearances specified in the table below are available or, where these clearances are not available, areas within the consultant’s unobstructed line of sight and within arm’s length. Reasonable access does not include removing screws and bolts to access covers.” Reasonable access does not include the use of destructive or invasive inspection methods. Nor does reasonable access include cutting or making access traps, or moving heavy furniture or stored goods.

A more thorough invasive inspection is available. Where any current visible evidence of timber pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees on the property up to a height of 2m have been visually inspected, where possible and practicable, for evidence of termite activity. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

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It is strongly recommended that a full inspection to AS 4349.3 Or as 3660.2-2000 Be carried out at least once every 12 months. Regular inspections do not stop timber pest attack, but are designed to limit the amount of damage that may occur by detecting problems early.

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management program in accord with as 3660 to minimize the risk of termite attack. There is no way of preventing termite attack. Even as 3660 advises that “the provision of a complete termite barrier will impede and discourage termite entry into a building. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspections.”

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Disclaimer of liability to third parties: This report is made solely for the use and benefit of the client named on the front of this report. No liability or responsibility whatsoever, in contract or tort, is accepted to any third party who may rely on the report wholly or in part. Any third party acting or relying on this report, in whole or in part, does so at their own risk.

Before you decide to purchase this property you should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pests. This information forms an integral part of the report.

Area access hole into roof space - 450 X 400mm access hole required

Crawl space height in actual roof space - 600 X 600mm crawl space required

Height from floor into roof space - Accessible from 2.1M step ladder or 3.6M ladder placed against a wall.

Subfloor access hole - 500 X 400mm access hole required

Timber sub floor clearance required - 400Mm to bearer, joist or other obstruction

Concrete floor - 500Mm roof exterior accessible from a 3.6M ladder

Roof exterior - Accessible with a 3.6 Meter ladder

A more invasive physical inspection is available and recommended.

As detailed above, there are many limitations to this visual inspection only. With the permission of the owner of the premises we will perform a more invasive physical inspection that involves moving or lifting: Insulation, stored items, furniture or foliage during the inspection. We will physically touch, tap, test and when necessary force/gouge suspected accessible timbers. We will gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days' notice. Inspection time for this style of report will be greater than for a visual inspection. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must

arrange for the written permission of the owner who must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. Price is available on request.

## **15. Maintenance Advice**

### **Please Read**

Important maintenance advice regarding integrated pest management (ipm) for protecting against timber pests:

No property is safe from termites!

Termites are the cause of the greatest economic losses of timber in service in australia.

Independent data compiled by state forests shows 1 in every 5 homes is attacked by termites at some stage in its life. Australia's subterranean termite species (white ants) are the most destructive timber pests in the world. In fact it can take "as little as 3 months for a termite colony to severely damage almost all the timber in a home".

How termites attack your home

The most destructive species live in large underground nests containing several million timber destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 meters to enter your home, where there is a smörgåsbord of timber to feast upon. Even concrete slabs do not act as a barrier; they can penetrate through cracks in the slab to gain access to your home. They even build mud tubes to gain access to above ground timbers. In rare cases termites may create their nest in the cavity wall of the property without making ground contact. In these cases it may be impossible to determine their presence until extensive timber damage occurs.

Termite damage

Once in contact with the timber they excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and cost two to five thousand dollars (or more) to treat.

Subterranean termite ecology

These termites are social insects usually living in underground nests. Nests may be in trees or in rare instances they may be in above ground areas within the property. They tunnel underground to enter the building and then remain hidden within the timber making it very difficult to locate them. Where timbers are concealed, as in most modern homes, it makes it even more difficult to locate their presence. Especially if gardens have been built up around the home and termite barriers are either not in place or poorly maintained. Termites form nests in all sorts of locations and they are usually not visible. There may be more than one nest on a property. The diet of termites in the natural environment is the various hardwood and softwood species growing throughout australia. These same timbers are used in buildings. Worker termites move out from their underground nest into surrounding areas where they obtain food and return to nurture the other casts of termites within the nest. Termites are extremely sensitive to temperature, humidity and light and hence

cannot move over ground like most insects. They travel in mud encrusted tunnels to the source of food. Detection of termites is usually by locating these mud tunnels rising from the ground into the affected structure. This takes an expert eye. Termite barriers protect a building by forcing termites to show themselves. Termites can build mud tunnels around termite barriers to reach the timber above. The presence of termite tracks or leads does not necessarily mean that termites have entered the timber though. A clear view of walls and piers and easy access to the sub-floor means that detection should be fairly easy. However many styles of construction do not lend themselves to ready detection of termites. The design of some properties is such that they make the detection by a pest inspector difficult, if not impossible. The tapping and probing of walls and internal timbers is an adjunct or additional means of detection of termites but is not as reliable as locating tracks. The use of a moisture meter is a useful aid for determining the presence of termites concealed behind thin wall panels, but it only detects high levels of activity. Older damage that has dried out will not be recorded. It may also provide false readings. Termite tracks may be present in the ceiling space however some roofs of a low pitch and with the presence of sisalation, insulation, air conditioning ductwork and hot water services may prevent a full inspection of the timbers in these areas. Therefore since foolproof and absolute certain detection is not possible the use of protective barriers and regular inspections is a necessary step in protecting timbers from termite attack.

#### Borers of seasoned timbers

Borers are the larvae of various species of beetles. The adult beetles lay their eggs within the timber. The eggs hatch out into larvae (grubs) which bore through the timber and can cause significant structural damage. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupae stage. Within the pupae case they metamorphose (change) into the adult beetle which cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes, and the frass formed when the beetles cut the exit holes that their presence can be detected. Where floors are covered by carpets, tiling, or other floor coverings and where no access to the under floor area is available it is not possible to determine whether borers are present or not. This is particularly the case with the upper floors of a dwelling. Borers of 'green' unseasoned timber may also be present. However these species will naturally die out as the timbers dry out in service. Whilst some emergence holes may occur in a new property it would be unusual for such a borer to cause structural damage, though the exit holes may be unsightly.

#### Anobium borer (furniture beetle) and queensland pine borer

These beetles are responsible for instances of flooring collapse, often triggered by a heavy object being placed on the floor (or a person stepping on the affected area!) Pine timbers are favored by this beetle and, while the sapwood is preferred, the heartwood is also sometimes attacked. Attack by this beetle is usually observed in timbers that have been in service for 10-20 years or more and mostly involves flooring and timber wall paneling. The frass from the flight holes (faeces and chewed wood) is fine and gritty. Wood attacked by these borers is often honeycombed.

#### Lyctus borer (powder post beetle)

These borers only attack the sapwood of certain susceptible species of hardwood timber. Since it

is a requirement that structural timbers contain no more than 25% lyctus susceptible sapwood these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended and treatment is not approved. Where decorative timbers are affected the emergence holes may be considered unsightly in which case timber replacement is the only option. Powder post beetles mostly attack during the first 6-12 months of service life of timber. As only the sapwood is destroyed, larger dimensional timbers (such as rafters, bearers and joists) in a house are seldom weakened significantly to cause collapse. In small dimensional timbers (such as tiling and ceiling battens) the sapwood may be extensive, and its destruction may result in collapse. Replacement of these timbers is the only option available.

#### Timber decay fungi

The fruiting bodies of wood decay fungi vary in size, shape and colour. The type of fungi encountered by pest controllers usually reside in poorly ventilated sub-floors, below wet areas of the home, exterior timbers and in areas that retain water in the soil. The durability and type of timbers are factors along with the temperature and environment. Destruction of affected timbers varies with the symptoms involved. Removal of the moisture source usually alleviates the problem. Fungal decay is attractive to termites and if the problem is not rectified it may well lead to future termite attack.

## TIMBER PEST INSPECTION

Please note that this inspection and report was a Visual only inspection to the readily accessible areas of the property as defined within the terms and conditions of this report.

Please ensure that you read all sections of the report as well as the additional information at the rear of the report and understand the limitations and the special recommendations for this construction style. If there is something you do not understand or require further clarification. Please contact the Inspector.

### IMPORTANT NOTE:

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

The Summary is not the Report. The following Report must be read in full in conjunction with the Summary. If there is a discrepancy between the information provided in the Summary and that contained within the body of the Report, the information in the body of the Report shall override the Summary.

## TERMS AND CONDITIONS

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the building members in accord with appendix c AS4349.1-2007

Please note: This is a general appraisal only and cannot be relied on its own - Read the report in its entirety.

This summary is supplied to allow a quick and superficial overview of the inspection results. This summary is not the report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the report and anything in this summary, the information in the report shall override that in this summary.

### Definitions

**High:** The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Typical:** The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

**Low:** The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Above average:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

**Average:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below average:** The building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Major defect:** Is a defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor defect: Any defect other than what is described as a major defect.

Accessible area: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Important advice

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a special-purpose inspection report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A geo-technical inspection can determine the foundation material and provide advice on the best course of action with regards to the trees.

Important information regarding the scope and limitations of the inspection and this report  
Important information any person who relies upon the contents of this report does so  
acknowledging that the following clauses, which define the scope and limitations of the inspection,  
form an integral part of the report.

1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not, a defect is considered significant or not depends too a large extent, upon the age and type of the building inspected. This report is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

3) This report does not and cannot make comment upon: Defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and

spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighborhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. (Nb: Such matters may upon request be covered under the terms of a special-purpose property report.

4) Asbestos disclaimer:

No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.

5) Mould (mildew and non-wood decay fungi) disclaimer:

Mildew and non wood decay fungi is commonly known as mould. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided.

6) Magnesite flooring disclaimer:

No inspection for magnesite flooring was carried out at the property and no report on the presence or absence of magnesite flooring is provided. You should ask the owner whether magnesite flooring is present and/or seek advice from a structural engineer.

7) Estimating disclaimer:

No estimate is provided in this report. We strongly recommend you obtain quotes for repairs from licensed tradesman accordingly,

Important disclaimer

Disclaimer of liability: -No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report).

Disclaimer of liability to third parties:

Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Compensation is limited to the price of the report initially paid by the claimant named in the report as the "CLIENT"

Other assessments recommended

Electrical installation:

All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The inspection of any electrical item is outside the scope of this report. It's recommended that a licensed electrician be consulted for further advice.

#### Plumbing:

All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.

#### Hot water service:

All hot water services need to be inspected and reported on by a plumber and/or electrician. It's recommended that a licensed plumber and/or electrician be consulted for further advice.

#### Gas:

All gas services need to be inspected and reported on by a gas plumber. It's recommended that a licensed gas plumber be consulted for further advice.

#### Phone:

All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician. It's recommended that a telecommunications technician be consulted for further advice.

#### Smoke detectors:

Australian standard as 3786 - Advises that smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to give advice on those installed or install these detectors.

The septic tanks: Should be inspected by a licensed plumber.

Swimming pools: Swimming pools/spas are not part of the standard building report under as4349.1-2007 And are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

Surface water drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and storm water run off and have the water directed away from the house or to storm water pipes by a licensed drainage plumber.

#### Terminology

The definitions below apply to the types of defects associated with individual items/parts or Inspection areas.

Damage: The building material or item has deteriorated or is not fit for its designed purpose.

Distortion, warping, twisting: The item has moved out of shape or moved from its position.

Water penetration, dampness: Moisture has gained access to unplanned and/or unacceptable areas.

Material deterioration: The item is subject to one or more of the following defects; rusting, rotting, Corrosion, decay.

Operational: The item or part does not function as expected.

Installation: The installation of an item is unacceptable, has failed or is absent.

Contact the inspector

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of major defects and minor and overall condition in this residential building as compared with similar buildings is listed below.

**The Inspection and Report was carried out by: Patrick Dunne**

**Contact the Inspector on: 0415 156 944**

**For and on Behalf of: padinspections**